





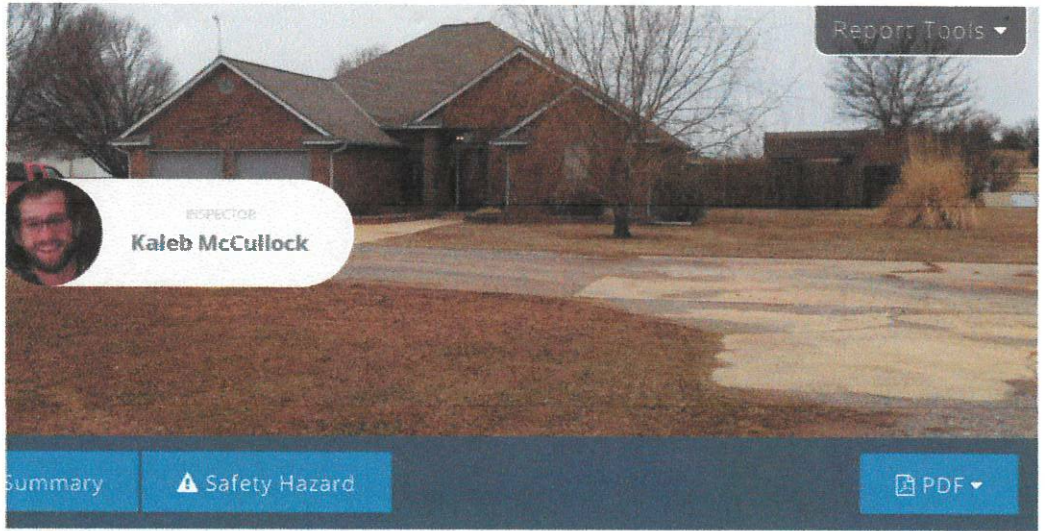


-  Inspection Details
-  Structure, Foundation, Crawl Space, & Basement
-  Exterior 4
-  Roof
-  Attic, Insulation & Ventilation
-  Garage
-  Heating And Cooling 1
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-  Electrical
-  Appliances
-  Doors, Windows & Interior



69

ITEMS INSPECTED

10

RECOMMENDATIONS

*Door KNOBS Replaced & Repaired  
 Door sweep Replaced  
 ReKaulked windows & Brick  
 ReKaulked TUB AREA  
 New Comp on Heat Pump - 2020  
 Sidewalks + Drive Cracks Filled*

## 1 - Inspection Details

INFORMATION

STANDARDS

**In Attendance**

Client, Termite inspector

**Occupancy**

Furnished, Occupied

**Temperature (approximate)**

34 Degrees

**Weather Conditions**

Cloudy, Recent Rain

**Type of Building**

Single Family

**Photos are representative**

The photos in this report are intended to show an example of listed defects, and may not represent every affected location.

## 2 - Structure, Foundation, Crawl Space, & Basement

INFORMATION

STANDARDS

**Inspection Method**

Visual

**Foundation: Type/Material**

Slab on Grade

**Floor Structure: Material**

Concrete, Slab

**Wall Structure: Materials**

Wood Frame

**Ceiling Structure: Materials**

Wood Joists

**Roof Bracing: Type of roof system**

Rafter

**Storm shelter**

Recommend registering the storm shelter with your local fire department or Emergency Management.



### **Personal Belongings**

Personal belongings limited our view of the property. These items may be located in, but not limited to the house, attic, garage and/or the exterior. Advise checking these areas when personal belongings are removed and/or at the final walk-thru before closing.

### 3 - Exterior

INFORMATION	LIMITATIONS	STANDARDS
<b>Siding, Flashing &amp; Trim: Siding Material</b> Brick		
<b>Siding, Flashing &amp; Trim: Trim Material</b> Metal		
<b>Exterior Doors &amp; Windows: Exterior Entry Doors</b> Wood, Steel, Aluminum		
<b>Walkways, Patios &amp; Driveways: Patios</b> Concrete, Common cracking Recommend maintaining sealant to help prevent further cracking.		
<b>Walkways, Patios &amp; Driveways: Walkways</b> Concrete, Common Cracks Seal as needed to help further cracking.		
<b>Decks, Balconies, Porches &amp; Steps: Appurtenance</b> Covered Porch, Front Porch		
<b>Decks, Balconies, Porches &amp; Steps: Material</b> Concrete		
<b>Eaves, Soffits &amp; Fascia: Eaves, Soffits, &amp; Fascia</b> Metal, Vinyl		
<b>Vegetation, Grading, Drainage &amp; Retaining Walls: Retaining Wall Material</b> N/A		
<b>Exterior Doors &amp; Windows: Daylight at door</b> — <i>Repaired</i> Daylight noted at the garage entry door, Recommend adjustments as needed.		



**Fencing: Damaged fencing**

Damaged wood fencing. Recommend repairs as needed.



*Repaired*

**Siding, Flashing & Trim: Tuck pointing**

Voids in the brick and or stone mortar viewed. Recommend tuck pointing brick mortar at various areas around the exterior of home to help prevent moisture intrusion.



**Siding, Flashing & Trim: Flashing Material**

**Metal, Some Not Visible**

Most flashing is applied before house finishes on the exterior and cannot be seen.

Therefore it is unknown to the inspectors if the moisture barriers and flashings are properly in place, improper moisture barriers and flashings can potentially cause moisture intrusion into the walls or structure of home.

**Siding, Flashing & Trim: Caulking**

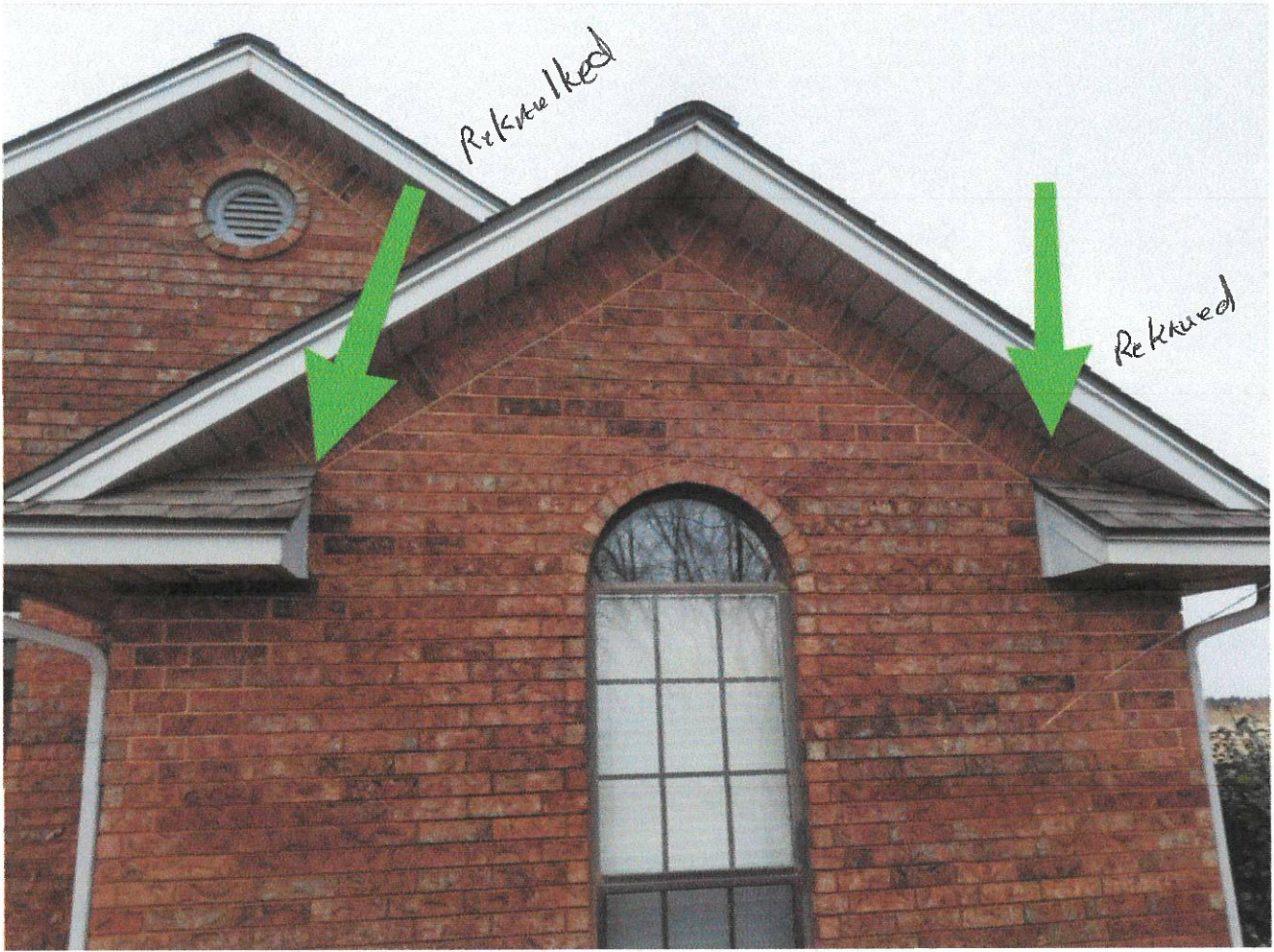
Recommend caulking windows, doors and trim as needed to help prevent moisture intrusion.



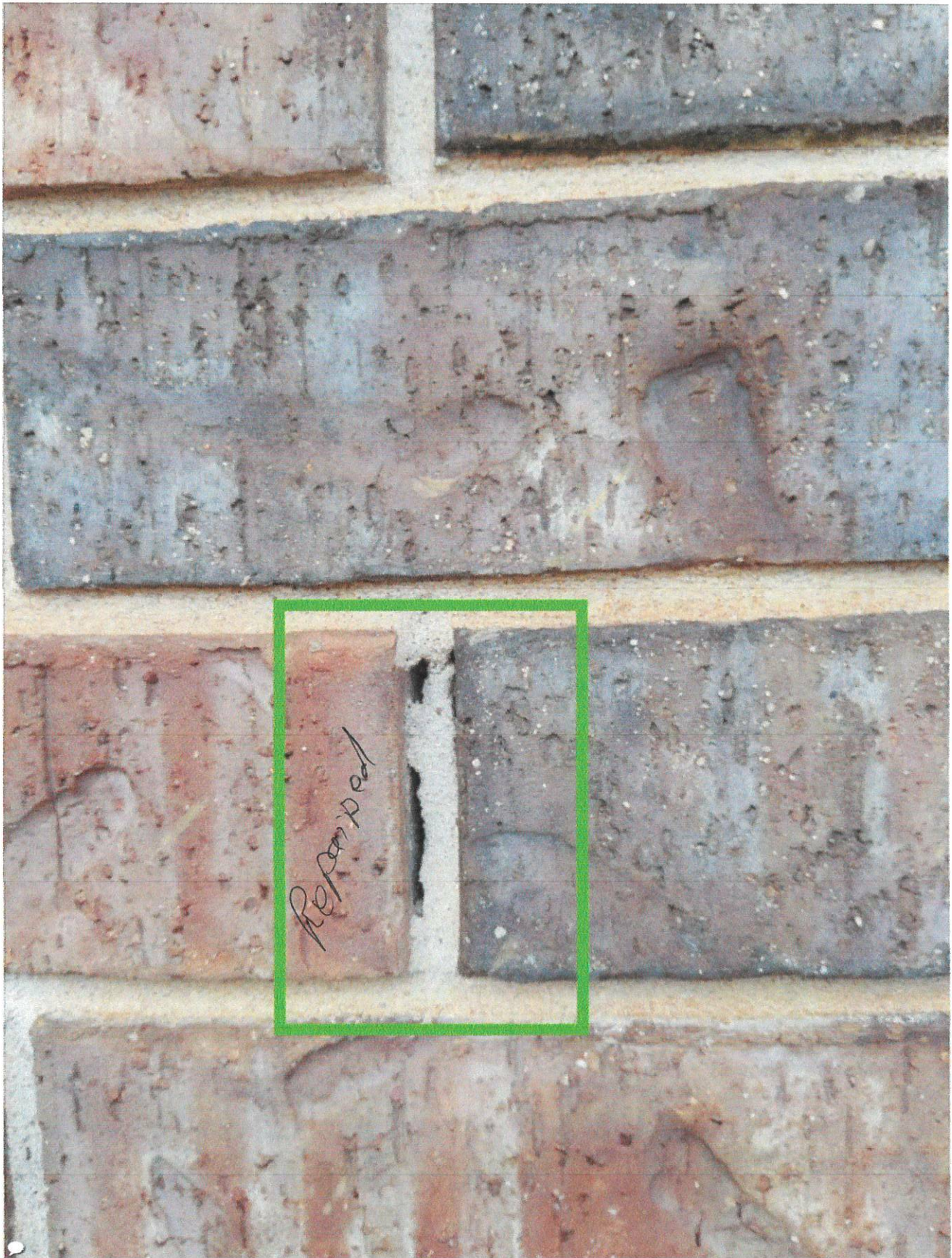
### **Outbuildings**

Outbuildings are beyond the scope of the standard home inspection, therefore are not a part of this inspection. Recommend the buyer to view and inspect prior to closing.





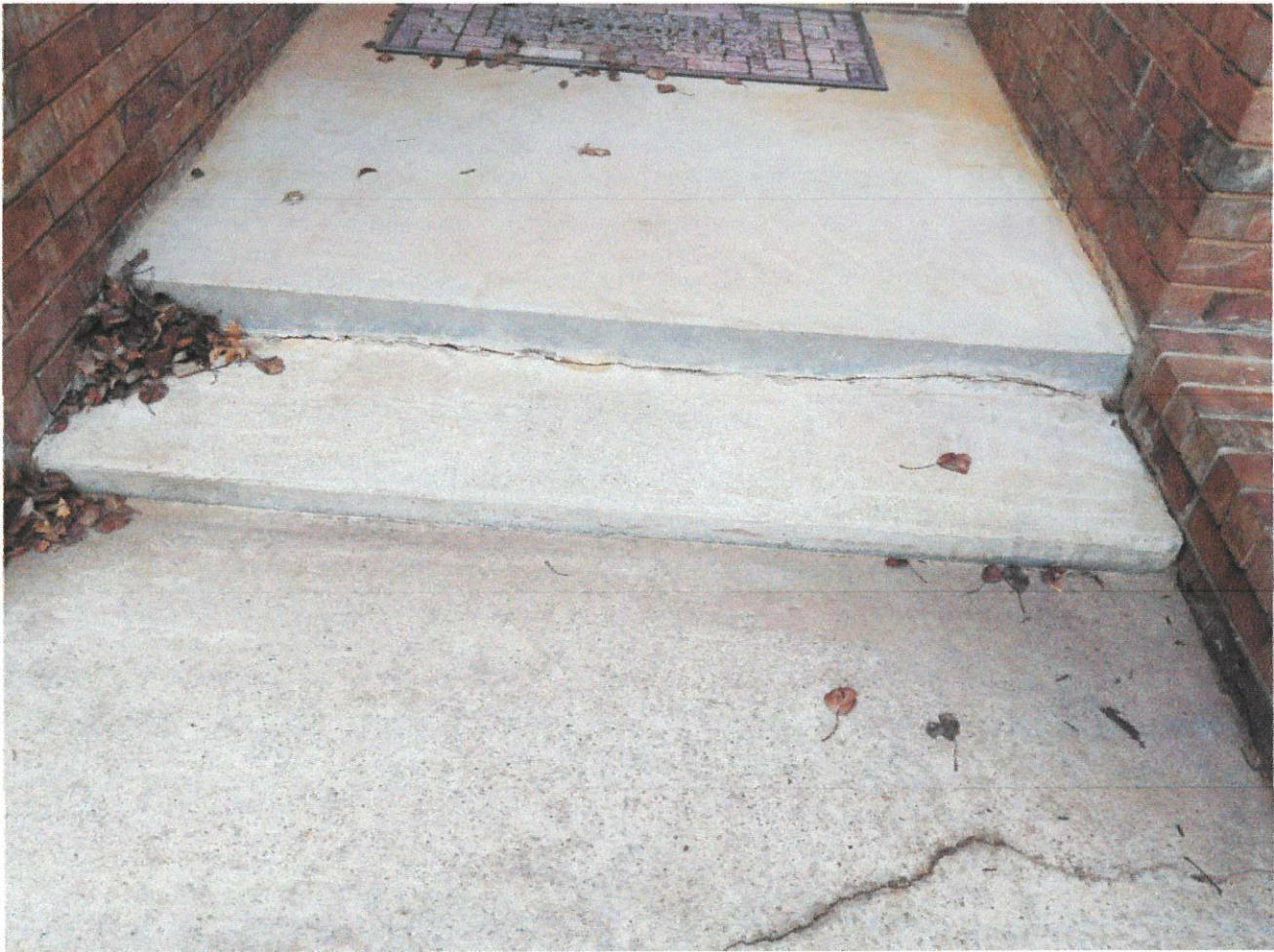




**Walkways, Patios & Driveways: Driveway Material**  
Concrete, Common Cracks

Suggest adding sealants to help prevent further damage or cracking.





**Vegetation, Grading, Drainage & Retaining Walls: Yard drainage**

Poor drainage and or negative slope viewed at on or more areas around home. Recommend monitoring over time and repairs/adjustments as needed to provide proper drainage around home.





### 3.2.1 - Exterior Doors & Windows



#### WEATHER STRIPPING

Door has loose and or damaged/inadequate weather stripping. This can result in significant energy loss and moisture intrusion. Recommend installation and/or adjustment of standard weatherstripping.

[Here is a DIY guide on weatherstripping](#)



### 3.2.2 - Exterior Doors & Windows



#### DOOR DOES NOT CLOSE OR LATCH

Door does not close or latch properly. Recommend qualified handyman adjust strike plate and/or lock.

[Here is a DIY troubleshooting article](#) on fixing door issues.



### 3.2.3 - Exterior Doors & Windows



#### PAINT/REFINISH NEEDED

REAR PATIO DOORS

Door finish is worn. Recommend refinish and/or paint to maximize service life.

[Here is a DIY article](#) on refinishing a wood door.



### 3.2.4 - Exterior Doors & Windows





## FAILED WINDOW GLASS

Failed window glass seal at multiple windows around home. Recommend a qualified window/glass contractor evaluate all windows for defective glass and repair/replace as needed.



Qualified Professional

## 4 - Roof

### INFORMATION

### LIMITATIONS

### STANDARDS

#### Inspection Method

Roof

#### Roof Type/Style

Gable, Hip

#### Coverings: Material

Asphalt, 1 Layer, Laminate

#### Roof Drainage Systems: Gutter Material

Seamless Aluminum

#### Flashings: Material

Rubber, Galvanized

#### Skylights, Chimneys & Other Roof Penetrations: Skylights

Not Present

#### Skylights, Chimneys & Other Roof Penetrations: Chimney Materials

Brick, Rain Cap, Spark Screen, Metal

Complete New Roofing on June 2017

**Roof walked**

The roof was walk and no hail damage noted on shingle surfaced at time of inspection.



### **Reason Roof Not Mounted**

#### **Slope**

Every effort is made to inspect roof as thoroughly as possible. Inspector is not required to walk roof when conditions may be unsafe, roof is too steep, and or, but not limited to when inspector may cause damage to roof.

### **Roof Conditions**

#### **Typical Wear**

Roof is displaying signs of typical wear and/or some surface damage. An inspectors job is not to determine if roof is insurable or to what degree. Buyer is responsible for securing terms of insurance prior to close of transaction.



















**Coverings: Roof decking**

The roof decking installed at time of inspection was board decking 1X 8 or greater this is no longer acceptable for asphalt shingles recommend replacement or covering with sheathing at next roof replacement.



**Flashings: Valley flashing**

Unable to fully view the valley flashing, it is unknown if metal flashings were used underneath the asphalt shingles as is not protruding out the end of the valley.

## 5 - Attic, Insulation & Ventilation

INFORMATION

STANDARDS

**Attic Access Location**

Garage, Pull Down Ladder

**Attic Observation Method**

Walked Partial/Limited Access

**Attic Insulation: Depth**

10 - 14 Inches

**Ventilation: Ventilation Type**

Soffit Vents, Ridge Vents

**Exhaust Systems: Attic Fan**

Not Present

**Exhaust Systems: Bathroom Ventilation/Exhaust**

Fan

**Exhaust Systems: Dryer Vent**

Metal

**Exhaust Systems: Dryer Vent Termination Point**

Exterior

**Attic Access: Inspection Method**

Visual

**Attic Structure: Roof Sheathing Material**

Board Decking

**Attic Structure: Framing Type**

Rafter Framing



**Attic Insulation: Insulation Type**  
**Blown, Fiberglass**





## 6 - Garage

### INFORMATION

**Garage Door: Material**  
Metal, Insulated, Double

**Garage Door: Type**  
Up-and-Over

**Garage Door Opener: Sensors**  
Present

**Main Garage**  
Attached

### LIMITATIONS



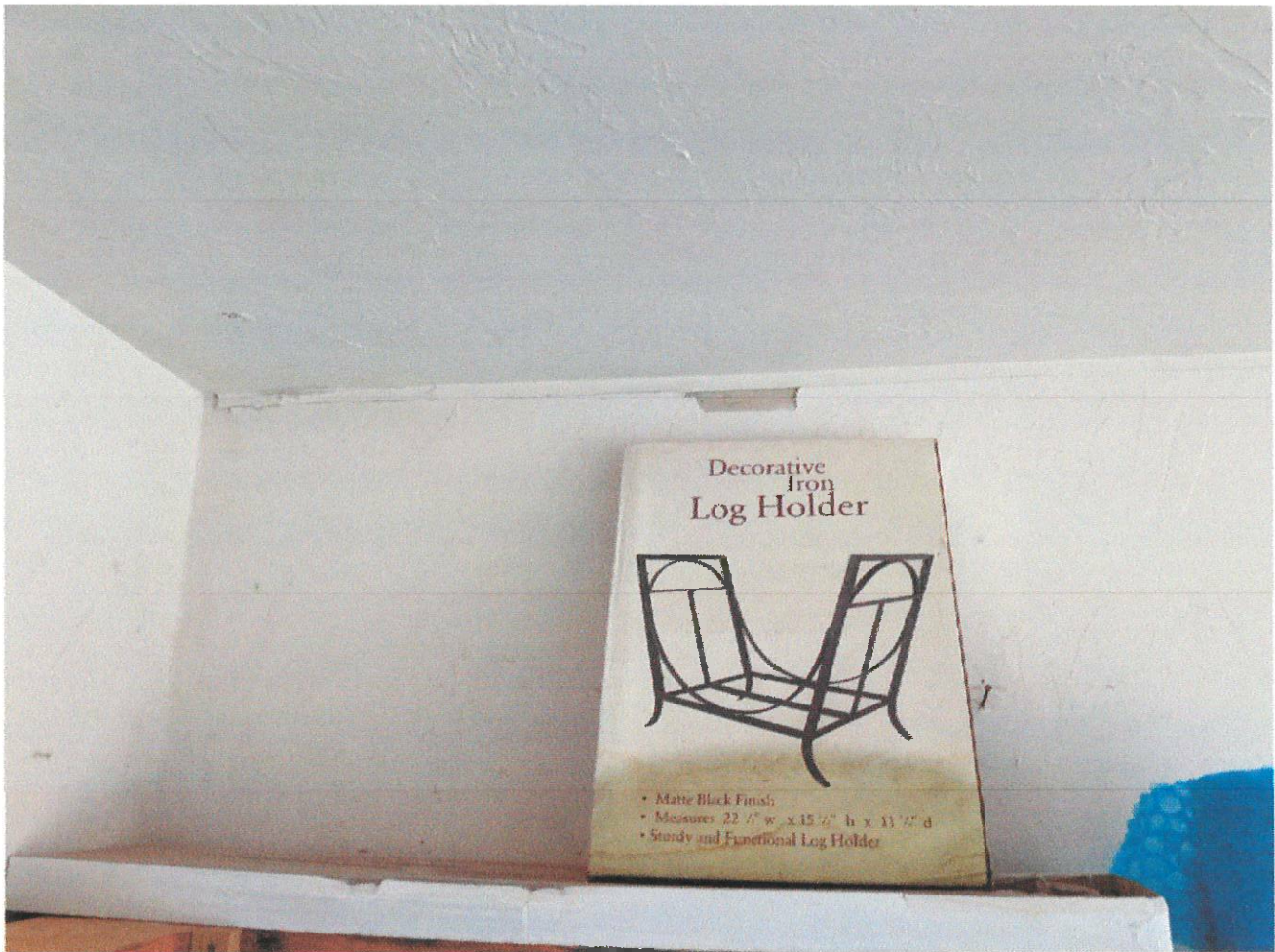
**Ceiling: Typical Cracks**

Typical cracks noted in garage ceiling.









**Garage Door: Garage door damage**

Damage was viewed at the garage door panels, the door did operate as it was intended to at time of inspection.



## 🏠 7 - Heating And Cooling

### INFORMATION

### STANDARDS

**Cooling Equipment: Energy Source/Type**

Electric, Heat Pump

**Heating Equipment: Energy Source**

Electric, Heat pump

**Heating Equipment: Heat Type**

Forced Air, Central Heat

**Heating Equipment: Supplemental Heat**

Built in fireplace

**Distribution Systems: Ductwork**

Insulated, Flexible, In attic space

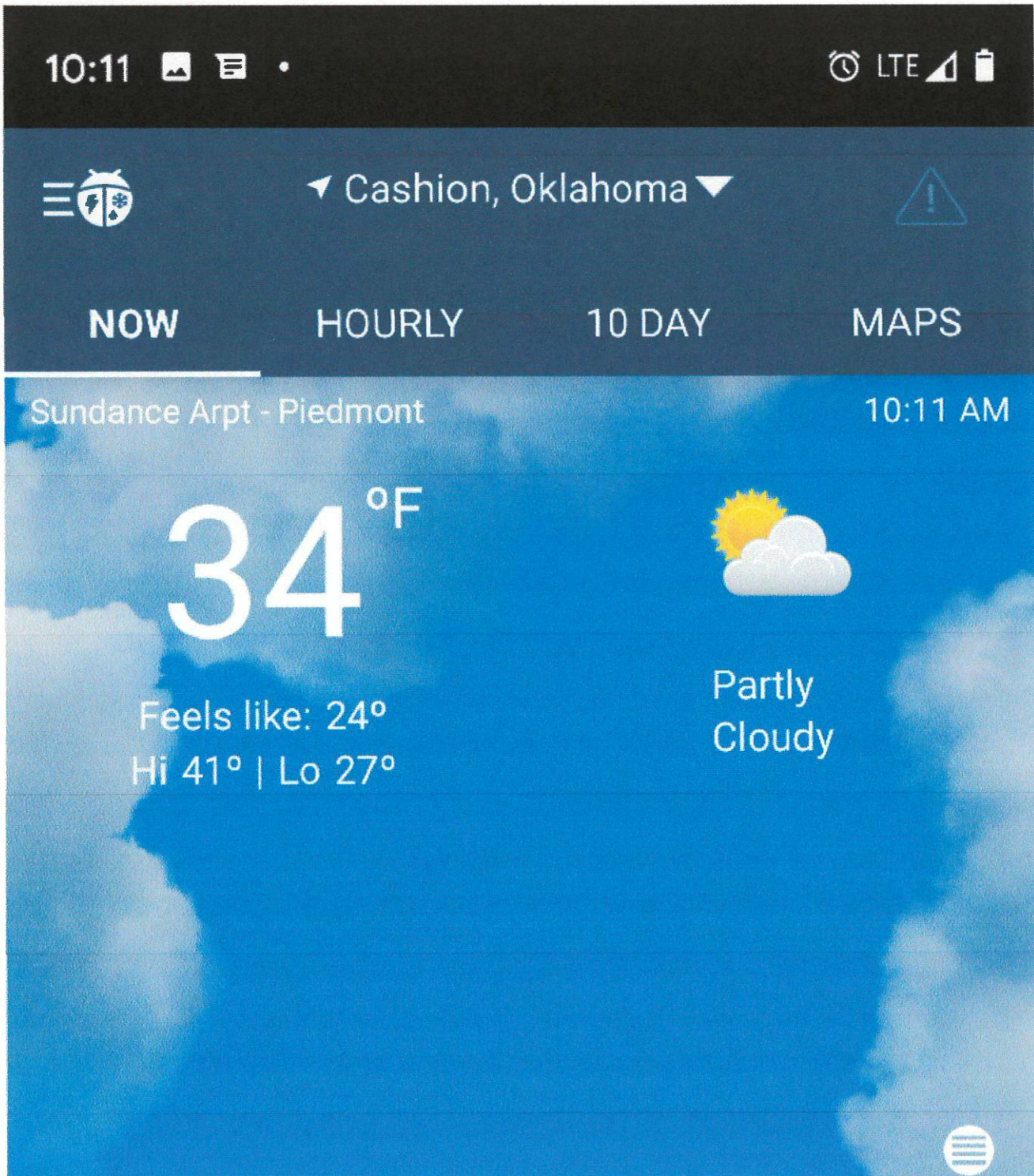
**Distribution Systems: Configuration**

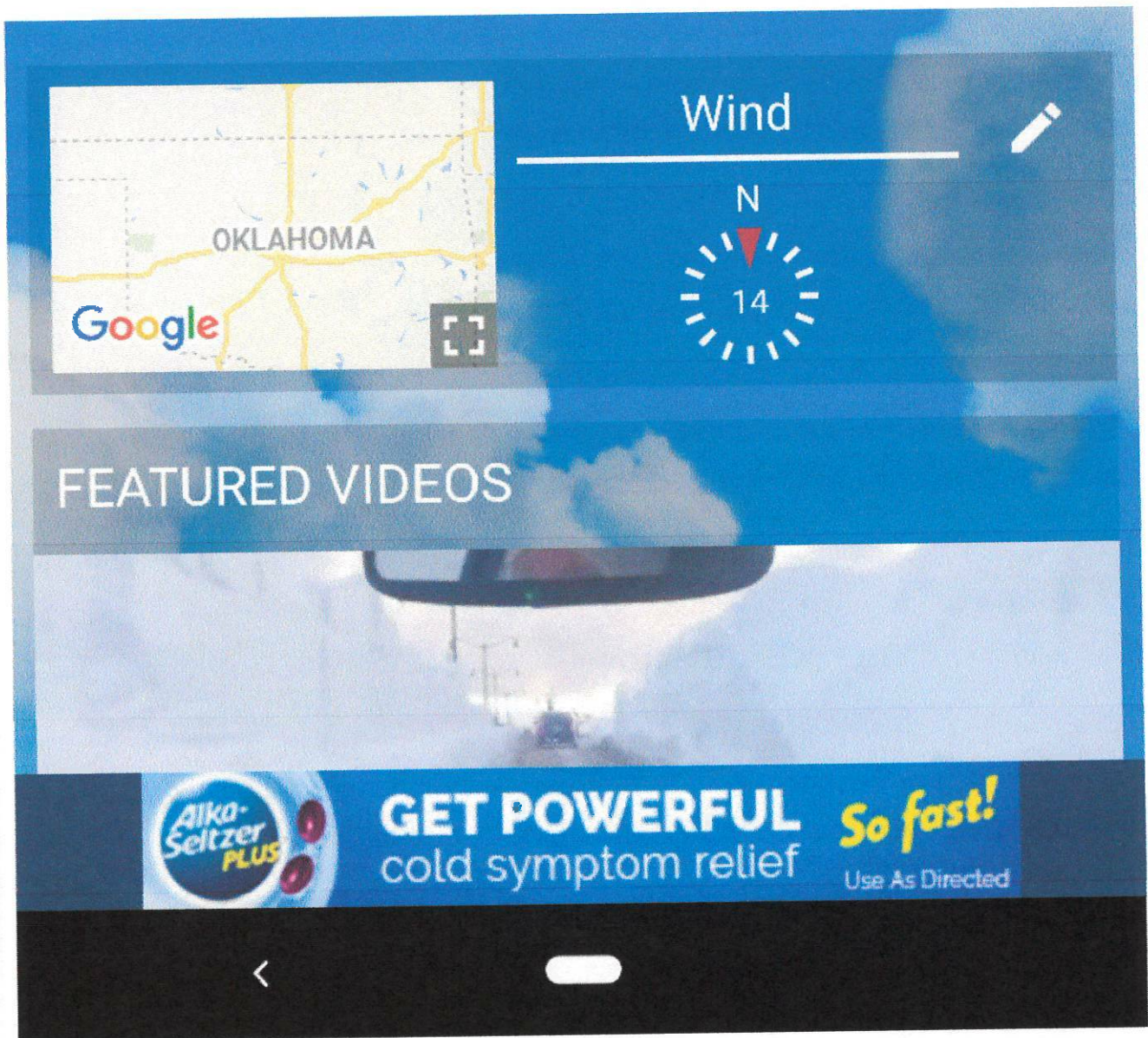
Central

**Vents, Flues & Chimneys: Metal**

**Air Conditioning Not Tested**

Outside temperatures prohibited testing of the air conditioning. Operating an air conditioner in temperatures below 60F can damage unit. Advise referring to seller or testing unit, if temperatures permit, before closing.





**Cooling Equipment: Brand**  
American Standard

The AC unit appears to be a 2007 build, 4 ton, 45 amp max fuse.

# Heritage 14

MFR  
DATE 1/2007

MOD. NO. 2A6H4048B1000AA VOLTS 208/230  
SERIAL NO. 70151KW2F PH 1 HZ 60  
MINIMUM CIRCUIT AMPACITY 28.0 AMPS  
OVERCURRENT PROTECTIVE DEVICE USA CANADA  
MIN FUSE / BREAKER (HACR) 40 40  
MAX FUSE / BREAKER (HACR) 45 45  
HCFC - 22 10 LBS. 05 OZ. OR 4.68 kg(SI)  
10 °F DESIGN SUBCOOLING

Duration DuraBase Spine Fin Easy-Sess

AMERICAN STANDARD INC.

MANUFACTURER OF TRADE AND AMERICAN STANDARD

TYLER, TX 75707

ASSEMBLED IN USA



LISTED SECTION OF  
HEAT PUMP

23MF OUTDOOR USE

COMPR. MOT. 21.2 RLA  
O.D. MOT. 1.40 FLA  
M.E.A. NO. 29-06-E  
DESIGN PSI - HIGH 300 LOW 300

208/230 V 137 LRA  
200/230 V 1/6 HP  
F. ID. G94



ARI Standard  
210/240 UHP

CERTIFICATION APPLIES ONLY  
WHEN THE COMPLETE SYSTEM  
IS LISTED WITH ARI





**Heating Equipment: Brand**

Trane

The unit is a ~~120~~ and 60/60 amp - New Comp. 2020  
2007





American Standard Inc.  
The Trane Company  
Tyler, TX 75711-9010

Made in USA

TWE048C140B3    K02870897    1/2    4.2    200-230    1PH  
MODEL NO.    SERIAL NO.    MOTOR H.P.    F.L.A.M.P.S.    VOLTS    PHASE

ELECTRIC HEATER-208 OR 240V, 60Hz, 1 PH OR 3 PH  
REFRIGERANT 22 ONLY TEST PRESSURE 300 PSI  
UNLESS INDICATED 'NA' ANY ONE OF THE FOLLOWING HEATERS MAY BE INSTALLED IN THIS UNIT. INSTALLER MUST MARK ONE APPROPRIATE BLOCK IN COLUMN A.

FACTORY INSTALLED     MAY BE FIELD INSTALLED     MFR DATE 01/95

A	TRANE HEATER MODEL	SUPPLY VOLTS	PHASE	KW	HEATER AMPS	HEAT BRANCH CIRCUIT CAPACITY	MAX FUSE OR HACR TYPE CIRCUIT BREAKER	MIN HEATING BLOWER SPEED	WITH HEAT PUMP	WITH HEAT PUMP	
	NONE	USE ACCESSORY PLATE BAY 99 X 123									
	BAY98X1405	208 240	1	3.80 4.80	17.3 20	27 30	30 30	LOW	LOW		
	BAY98X1408	208 240	1	4.33 5.78	20.8 24	31 35	35 35	LOW	LOW		
	BAY98X1408	208 240	1	5.77 7.68	27.7 32	40 45	40 45	LOW	LOW		
	BAY98X1410	208 240	1	7.21 9.80	34.7 40	49 55	50 60	LOW	LOW		
	BAY98X1411	208 240	1	7.93 10.58	38.1 44	53 60	60 60	LOW	LOW		
	BAY98X3411	208 240	3	7.93 10.58	24.2 28	38 40	40 40	LOW	LOW		
	BAY98X3415	208 240	3	11.84 15.38	38 41.8	45 52	45 60	LOW	LOW		
A	TRANE HEATER MODEL	SUPPLY VOLTS		KW	HEATER AMPS	HEAT BRANCH CIRCUIT CAPACITY	MAX OVERCURRENT DEVICE				
	CIRCUIT 1	208 240	1	7.21 9.80	34.7 40	49 55	50 60	LOW	LOW		
	BAY98X1415 CIRCUIT 2	208 240	1	4.33 5.78	20.8 24	28 30	30 30				
	CIRCUIT 1	208 240	1	7.21 9.80	34.7 40	49 55	50 60	LOW	HI **		
	BAY98X1419 CIRCUIT 2	208 240	1	7.20 9.80	34.7 40	43 50	45 50				
	CIRCUIT 1	208 240	1	7.21 9.80	34.7 40	49 55	50 60	LOW	HI **		
	BAY98X1421 CIRCUIT 2	208 240	1	9.88 11.52	41.8 48	52 60	60 60				
	CIRCUIT 1	208 240	1	7.21 9.80	34.7 40	49 55	50 60	LOW	HI		
	BAY98X1428 CIRCUIT 2	208 240	1	8.88 11.52	41.8 48	52 60	60 60				
	CIRCUIT 3	208 240	1	3.80 4.80	17.3 20	22 25	25 25				

NOTE: Heater model number may have additional suffix digits.  
**CAUTION:** WHEN HEATER MODELS BAY98X1410A, 1411A, 1414, 1415, 1418, 1421 AND 1428 ARE INSTALLED USE ONLY 240/208 VOLT SUPPLY CIRCUITS WITH 120 VOLTS TO GROUND (NOMINAL).

FOR FIELD CONNECTIONS USE COPPER CONDUCTORS ONLY. USE ONLY APPROVED COMBINATIONS OF ELECTRIC HEATERS AND UNITS. MINIMUM INSTALLATION CLEARANCE TO COMBUSTIBLE MATERIALS WHEN ELECTRIC HEATERS ARE INSTALLED: UNIT CABINET 3", PLENUM 1" AND PIPES / OF OUTLET DUCT 1". MAXIMUM OUTLET AIR TEMPERATURE WITH ELECTRIC HEATERS 160°.

**CAUTION:** IF AIR HANDLER IS USED WITHOUT A FACTORY FURNISHED SUPPLEMENTARY ELECTRIC HEATER, AN ACCESSORY PLATE IS REQUIRED TO COVER THE OPEN HOLE IN THE SUPPLY SYSTEM.

**WARNING:** WITH HEAT PUMP NOT ALL TRANE, BONEE HEATERS ARE POSITIONED IDENTICALLY. SEE FACTORY'S GILL ON.  
\* 1 "MED" SPEED IN DOWNFLOW, "LOW" SPEED IN UPFLOW OR HORIZONTAL FLOW.


**Heating Equipment: Supply vent on heating mode**

The heating temperatures on emergency heat mode were below average, and temperatures outside were too low to test the heat pump. Recommend a qualified contractor clean and evaluate for proper function



Weather

weather >

Updated 1/29 10:13 AM 



Cashion

Jan 29 11:19 AM

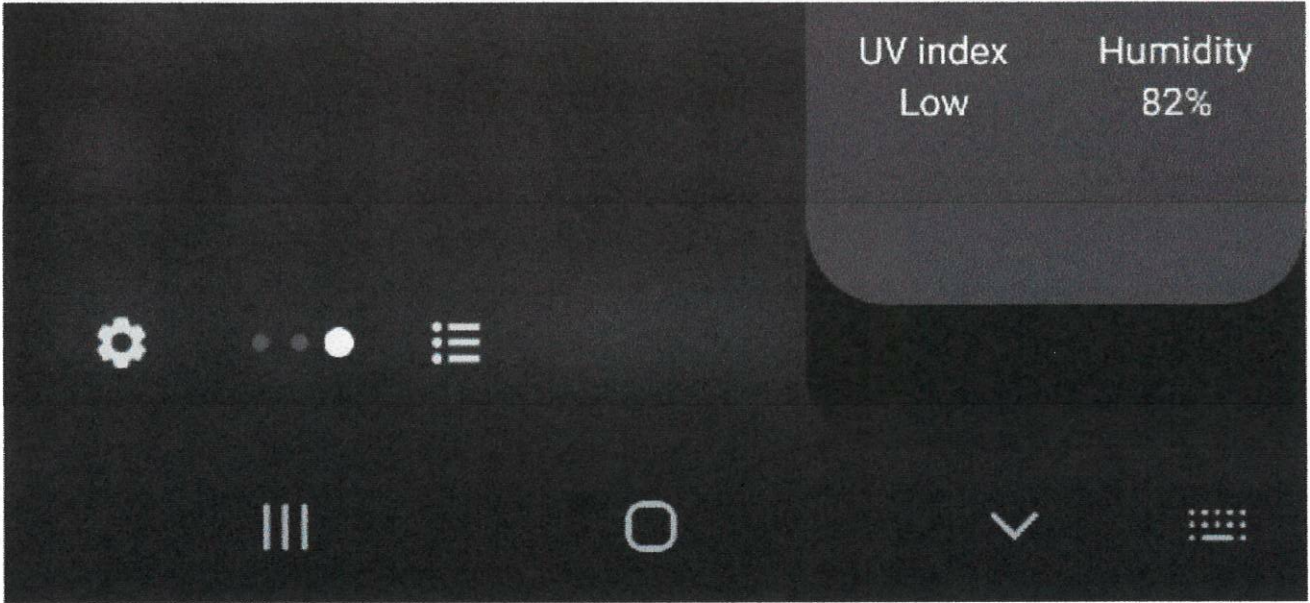
 36°

43° / 28°

Feels like 28°

Cloudy





7.1.1 - Cooling Equipment

*Repaired*



**INSULATION MISSING OR DAMAGED**

Missing or damaged insulation on refrigerant line can cause energy loss and condensation. Recommend repair as needed.

 Handyman/DIY

## 8 - Plumbing

INFORMATION

LIMITATIONS

STANDARDS

**Filters**  
None

**Water Source**

Public

**Main Water Shut-off Device: Location of Main Shut Off**

Water Meter

**Drain, Waste, & Vent Systems: Material**

PVC

**Drain, Waste, & Vent Systems: Location of Sewer Clean Out -**

It is There

Not visible above grade

**Supply, Distribution & Fixtures: Entrance Material**

Unknown

**Supply, Distribution & Fixtures: Water Supply Material**

Polybutylene

**Water heater: Power Source/Type**

Electric

**Water heater: Capacity**

50 gallons

**Water heater: Location**

Garage, Mechanical Closet

**Water heater: Features**

Raised

The water heater appears to be in working condition at time of inspection.

**Shower & Bathtub Enclosure : Materials**

Tile

**Main Water Shut-off Device: Water pressure noted at exterior faucet.**

The water pressure was noted at the front outside faucet.



**Supply, Distribution & Fixtures: Shower pan test**

The shower pans were filled and no leaks viewed at time of inspection.



**Water heater: Hot Water Temperature**  
Acceptable range of 100-120 degrees Fahrenheit





**Drain, Waste, & Vent Systems: The sewer cleanout location not found** — *outside LARGE DOOR @ Blue Lid*

There's no sewer cleanout visible at the ground level on any side of the home. Some homes this age that have not had significant sewer line repairs or replacement do not have a clean out installed. It is up to the buyer to determine if further evaluation by plumbing contractor is needed. No significant drainage issues were noted during the plumbing test

**Supply, Distribution & Fixtures: Spa Tub**

Spa tub was checked for proper operation of jets. No problems noted at time of inspection.

**Water heater: Manufacturer**

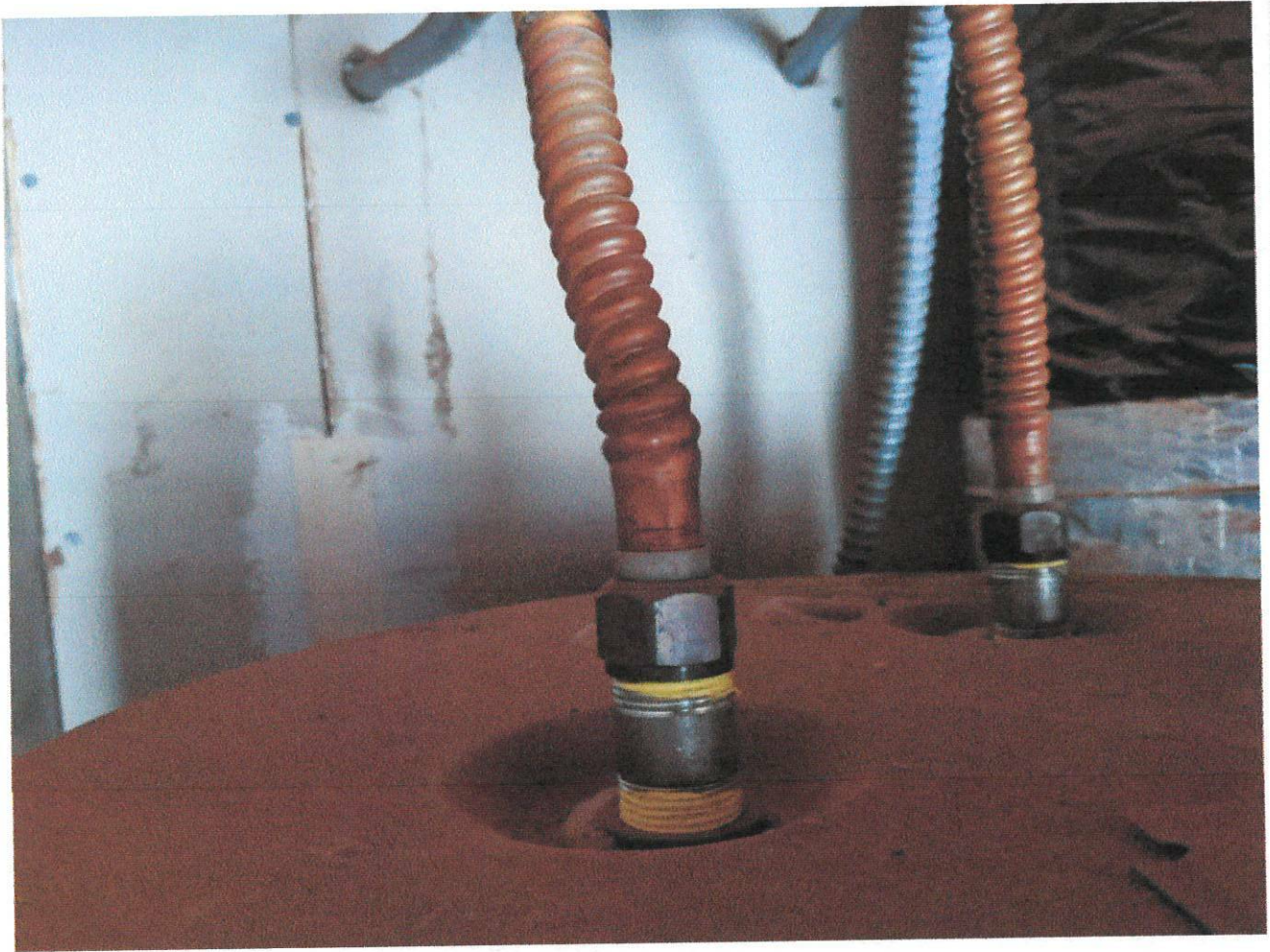
AO Smith

I recommend flushing & servicing your water heater tank annually for optimal performance.

[Here is a nice maintenance guide from Lowe's to help.](#)

**Water heater: Water Heater**

The water heater appears to be in working order at time of inspection.





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**J2CC-9F6X-R1CX**

**A.O. Smith Res 6yr Elec**

US CONTRACTORS ONLY 317570-000 EXPIRES: 05/2013




TEST PRESSURE 300 P.S.I.  
 WORKING PRESSURE 150 P.S.I.

**LISTED**  
 WATER HEATER  
**608H**

AMERICAN WATER HEATER COMPANY  
 1100 EAST FAIRVIEW AVENUE  
 JOHNSON CITY, TN 37601  
 TESTED TO WITHSTAND 400 DEG.

MODEL NUMBER  
**E62-50H-045DV**


SERIAL NUMBER  
**1022T429299**

PRODUCT NUMBER  
**9241326000**

CAPACITY	50.00	U.S. GALLONS	PHASE	1
LIMITED WARRANTY			VOLTAG	208
INNER TANK	6	YEAR	UPPER ELEMENT	3375
PARTS	6	YEAR	LOWER ELEMENT	3375
INSULATED TO			TOTAL ELEMENTS	3375

THIS WATER HEATER MODEL COMPLIES WITH ASHRAE STANDARD  
**90.1-1999**

ECT 52 202172000



**WARNING**

**Electrical Shock Hazard**  
 Disconnect power before servicing.  
 Replace all parts and panels before operating.  
 Failure to do so can result in death or electrical shock.



of electric shock disconnect from power before servicing.


### 8.3.1 - Supply, Distribution & Fixtures



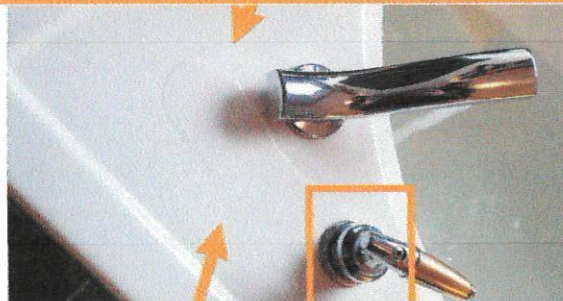
#### POLYBUTYLENE SUPPLY PIPES

Water supply pipes were made from polybutylene material. This material can be prone to fail without warning, causing damage to the home structure. Recommend a qualified plumber replace pipes and fittings with an approved material like PEX.

You can read more about polybutylene piping [here](#) and [here](#).

 Plumbing Contractor

### 8.3.2 - Supply, Distribution & Fixtures



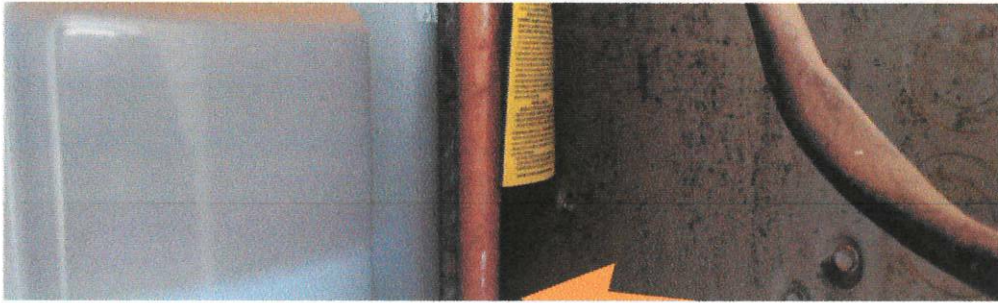
#### LEAKING TUB HANDLE

*Not leaking now - Had not used in Long Time*

The master bathtub tub handle is leaking onto the tub surround. Recommend a qualified plumber repair as needed.

 Qualified Professional

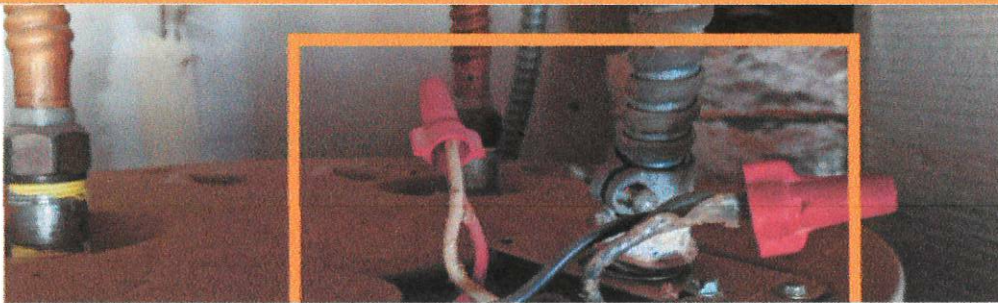
### 8.4.1 - Water heater



### DOWN PIPE

There's improper size of downpipe installed at the water heater pressure relief valve recommend installing down near the floor as needed for safety.

#### 8.4.2 - Water heater



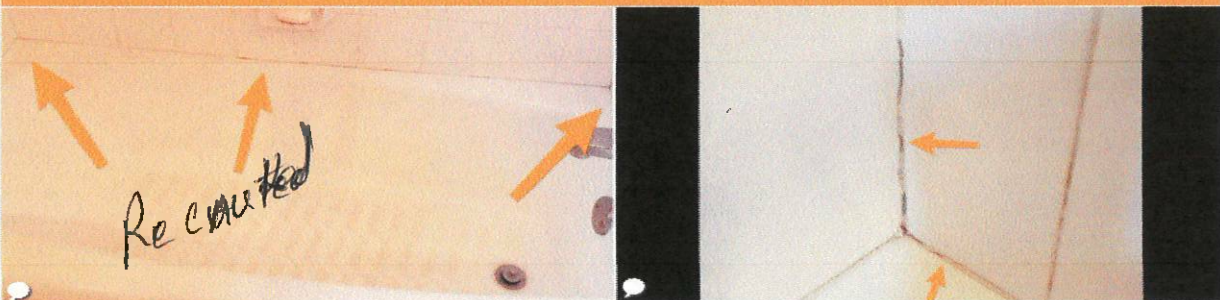
### OPEN WIRING

*Repaired*

Open wiring viewed at the electric water heater for the power service suggest installing for safety.

 **Qualified Professional**

#### 8.5.1 - Shower & Bathtub Enclosure



### CAULK/GROUT NEEDED

Caulk/Grout is cracked or missing from tub/shower enclosure. Advise repairs for water tightness.

 **Handyman/DIY**

## 9 - Electrical

### INFORMATION

### STANDARDS

#### **Wiring Methods**

Non-Metallic Sheathed

#### **Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location**

Garage

#### **Main & Subpanels, Service & Grounding, Main Overcurrent Device: Total Capacity**

200 AMP

#### **Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer**

Cutler Hammer

#### **Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type**

Circuit Breaker

#### **Main & Subpanels, Service & Grounding, Main Overcurrent Device: Sub Panel Location**

Pool

#### **Branch Wiring Circuits, Breakers: Branch Wire 15 and 20 AMP**

Copper

#### **Branch Wiring Circuits, Breakers: Wiring Method**

Romex

#### **GFCI & AFCI: AFCI Protection**

Not Present

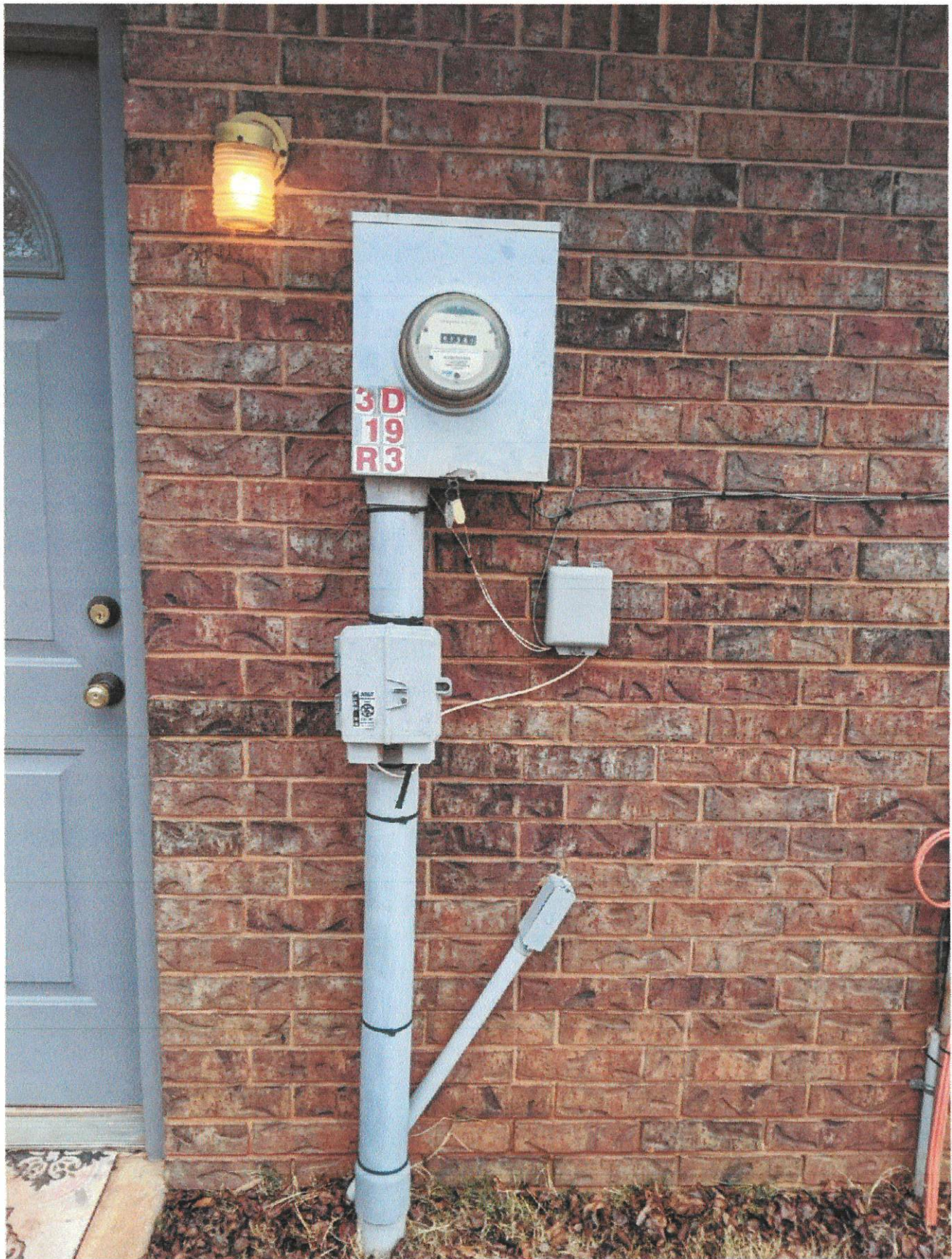
In occupied homes the AFCI breakers will not be tested.

#### **GFCI & AFCI: GFCI Protection**

Bathrooms, Kitchen

#### **Service Entrance Conductors: Electrical Service Conductors**

Below Ground

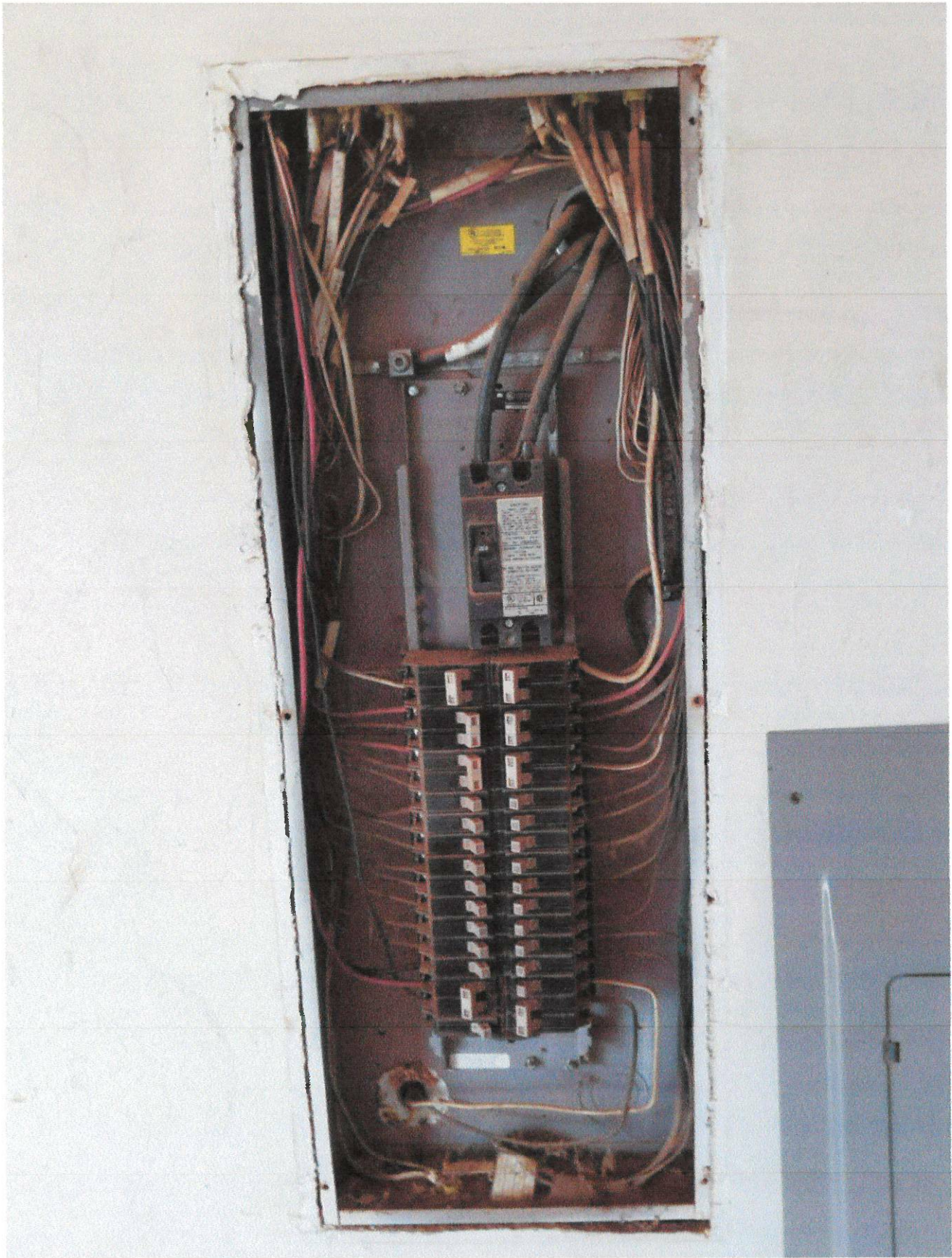


**Main & Subpanels, Service & Grounding, Main Overcurrent Device: The main panel inspection**

The main panel cover was removed and the interior inspected, we do not check for proper labeling of breakers, only if they are labeled.







**Smoke Detectors: Smoke Detectors**  
Present

Smoke detectors are not inspected during a home inspection. Advise inspecting/installing smoke detectors prior to occupancy.

**Carbon Monoxide Detectors: Carbon Monoxide Detectors**

Not found

Carbon monoxide detectors are not inspected during a home inspection. Advise inspecting/installing prior to occupancy.

**Carbon Monoxide Detectors: Carbon monoxide detectors not found or identified**

It is unknown to the inspector if the installed smoke detectors are combination CO detectors as well. Recommend installing carbon monoxide detectors as needed near bedroom and gas fired applications.

## 10 - Appliances

INFORMATION

LIMITATIONS

STANDARDS

**Garbage Disposal: Garbage Disposal**

Present

**Washer/Dryer : Dryer Power Source**

Electric

**Range/Oven/Cooktop: Kitchen Exhaust Fan**

Vents to Exterior



**Range/Oven/Cooktop: Range/Oven/Cook Top**  
**Cook Top, Glass Top**

Tested, and appears to be working as intended at the time of inspection. All modes were not tested.





**Built-in Microwave: Built-In Microwave**  
Present

Tested, and appears to be working at the time of inspection. Abnormal noise was noted at the time of inspection. Recommend cleaning or adjustment as needed.



**Fireplace: No gas at fireplace**

This fireplace is not equipped with a gas starter unit. We recommend a thorough cleaning and inspection by a qualified chimney sweep before the first use.







## ■ 11 - Doors, Windows & Interior

### INFORMATION

### STANDARDS

**Windows: Window Type**

Aluminum, Single-hung

**Floors: Floor Coverings**

Tile, Engineered Wood, Carpet

**Walls: Wall Material**

Drywall, Paint, Texture

**Ceilings: Ceiling Material**

Paint, Texture, Drywall

**Countertops & Cabinets: Countertop Material**

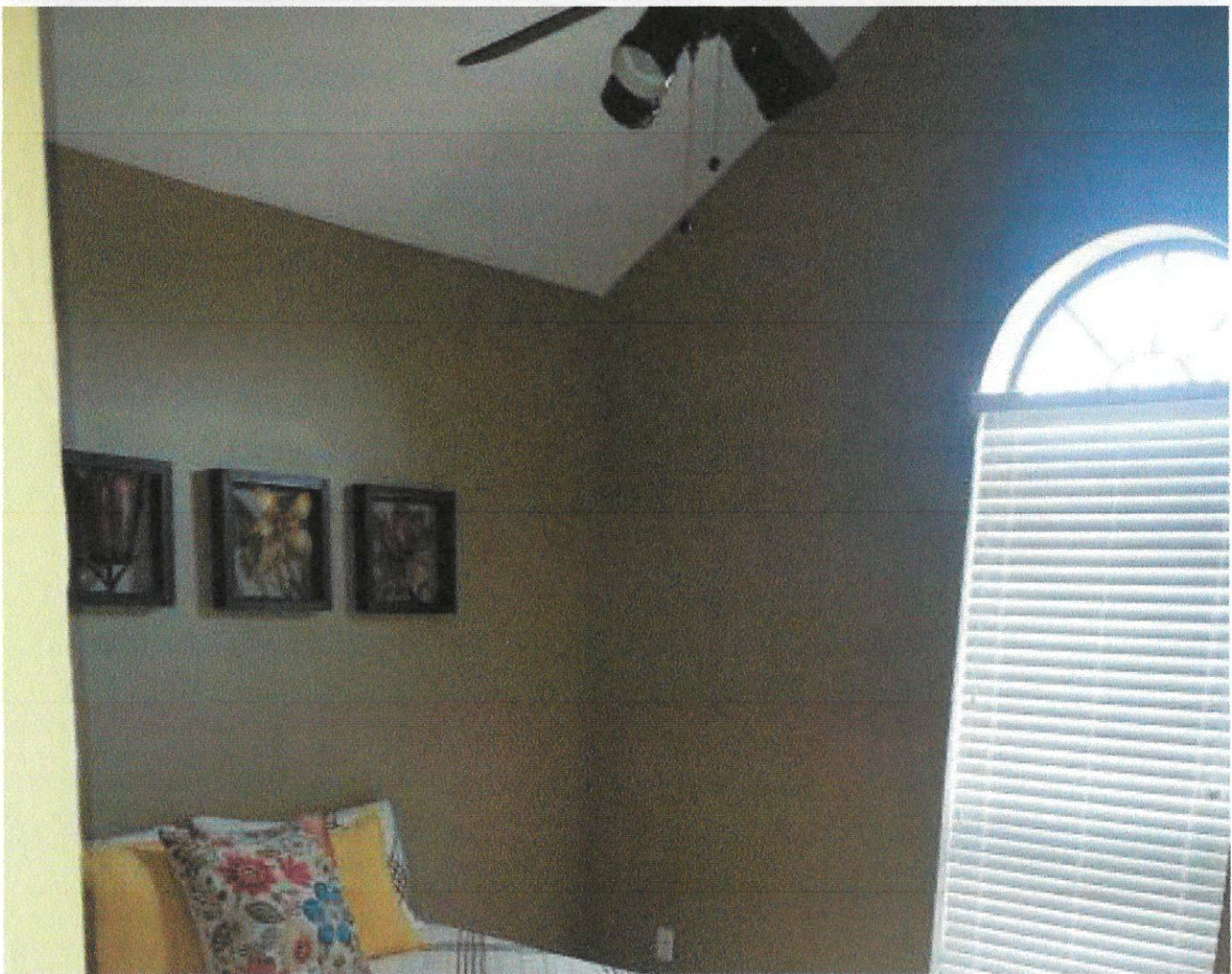
Solid surface/stone

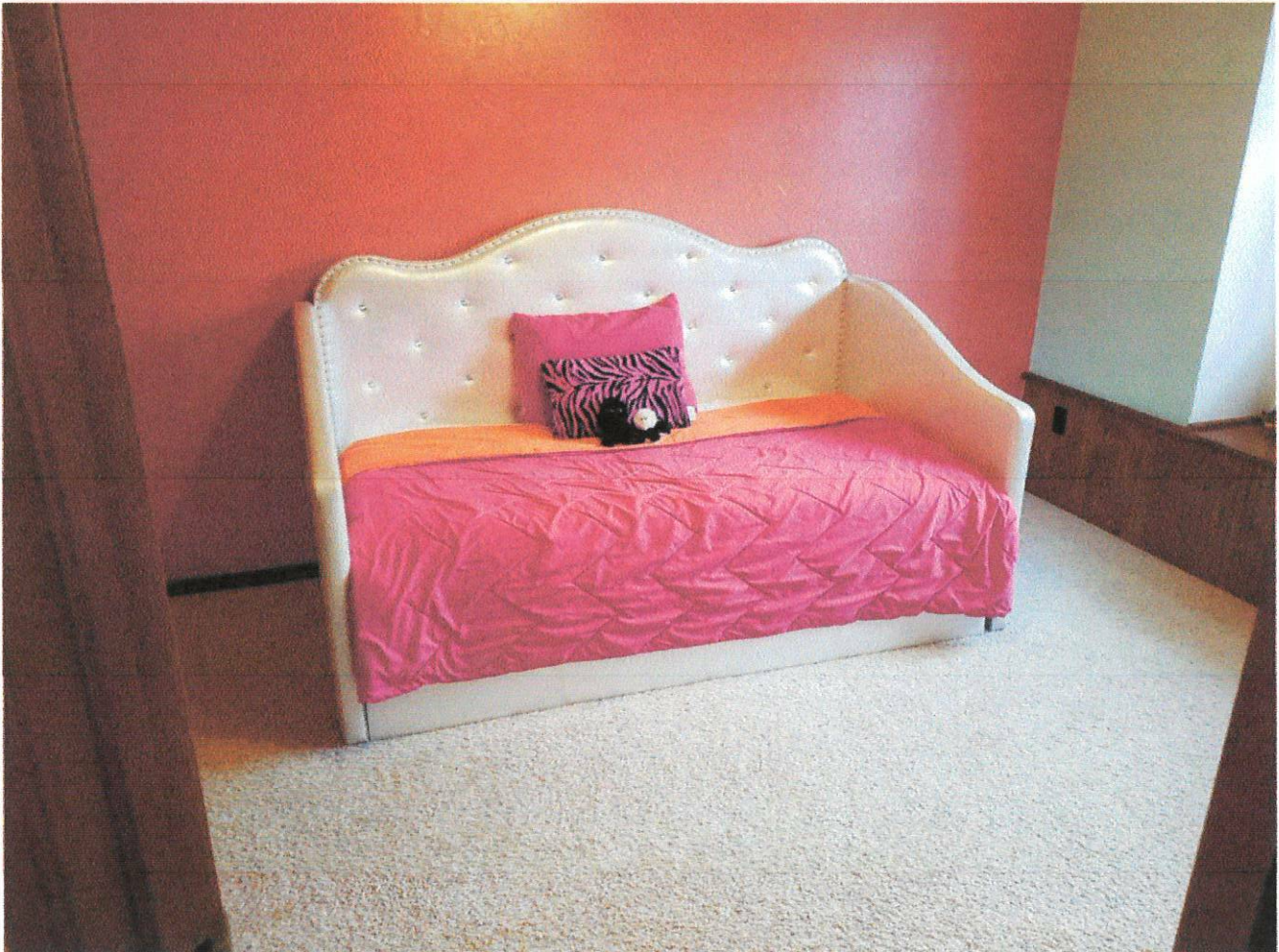
**Countertops & Cabinets: Cabinetry**

Wood

**Belongings Present**

We strongly advise a final walk through of homes that were occupied or staged during an inspection. If items were not visible at the time of inspection, they were not inspected.





Replaced

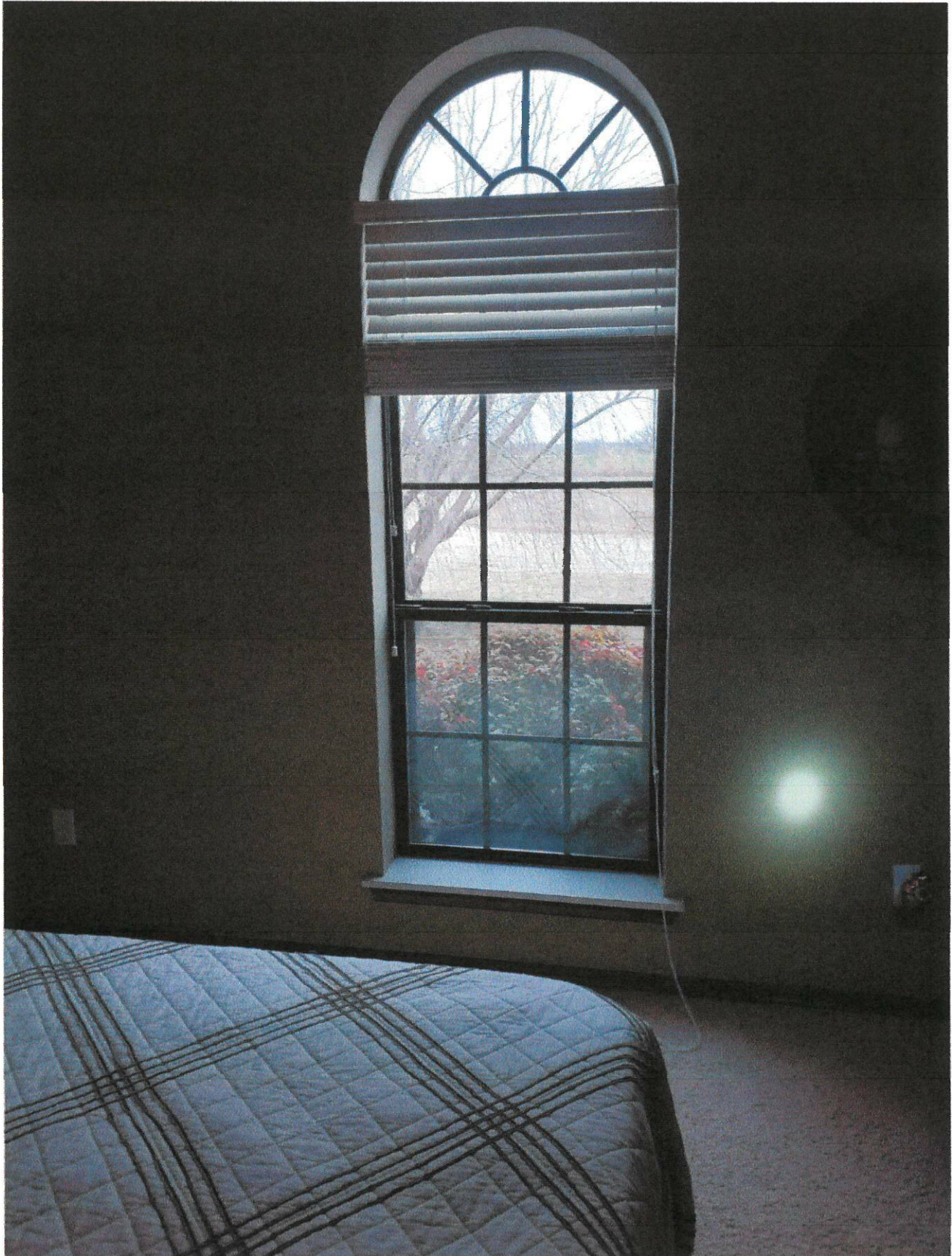
**Doors: Loose hardware**

Loose door hardware noted on various doors throughout home. Recommend adjustment as needed for proper operation and safety



**Windows: Window operation**

Some windows are difficult to operate, recommended cleaning/adjustment as needed for safety and proper egress.



**Walls: Minor Drywall Cracks**

Minor cracks noted at various areas of interior walls. These types of cracks are typical for the age and type of home and should be monitored and/or repaired. If they worsen or recur frequently, consider contacting your inspector, or a structural engineer for further evaluation.

